

**ADDENDUM**  
**MEETING OF THE PLANNING COMMITTEE**  
**WEDNESDAY 18 OCTOBER 2017**

**ITEM NO: 5**

**APPLICATION: 17/00804/F – LAND TO THE REAR OF 92-96 PARTRIDGE MEAD, BANSTEAD**

**Representations**

One additional representation has been received. The issues raised within this representation are addressed in the Report. The representation also raises “harm to Conservation Area” and “harm to Green Belt/countryside” – for clarification; the site is within the urban area, is not adjacent to countryside and is not within or near to a Conservation Area.

**Relevant Planning and Enforcement History**

For context, the layout of the adjoining scheme at Hornbeam Close (consented under 14/01307/F) and wider location plan showing this in context is provided at Annex A as it is not shown in full on the OS map or plans in the Agenda.

**INFORMATIVE**

An extra informative be added following clarification from Neighbourhood Services:

6. The applicant is advised that refuse would not be collected by the Council from these individual properties and bins must instead be taken by the residents to an agreed bin collection point. For further information please contact the Council’s Neighbourhood Services team.

**Note:**

*The Committee voted against the recommendation on this application at its meeting on 4 October and it is on this agenda to formalise reasons for refusal. The above addendum is therefore included for completeness but for information only.*

**ITEM NO: 6**

**APPLICATION: 17/00714/F – MEROK PARK NURSING HOME, PARK ROAD, BANSTEAD**

**Representations**

Two additional representations have been received.

One raises concerns regarding parking provision and highway safety both of which are addressed within the report. The second, from the Park Road Residents Association, provides support in favour of the application.

## **CONDITIONS**

An additional condition is proposed as follows to clarify that the lift overrun at roof level is to be clad with brickwork.

20. Notwithstanding the approved plans, the lift overrun at roof level shall be clad in brickwork, details of the materials for which should be submitted for approval in accordance with Condition 8.

Reason: To ensure a satisfactory external appearance is achieved in the interests of the character of the area with regard to Reigate and Banstead Borough Local Plan policy Ho9.

## **Plans**

A number of superseded plans have been included within the agenda (pages 82, 84 and 86..

The correct plans are included at Annex C to this Addendum.

## **ITEM NO: 7**

### **APPLICATION: 17/01639/F PARK VIEW, 105 BELL STREET, REIGATE**

## **REPRESENTATIONS**

One additional representation has been received.

The representation raises concerns regarding harm to the Conservation Area, hazard to highway safety, crime and health fears, inconvenience during construction, increase in traffic and congestion, noise and disturbance and overdevelopment, these matters are addressed within the report. In addition it raises ownership issues which are not a material planning consideration.

## **PLANS**

A revised landscape scheme has been received, included at Appendix D to this addendum. The plan switches the hawthorn hedge to privet to align with the landscape scheme approved under permission 16/02033/DET03 on the adjacent land. In light of the above the tree officer has confirmed the revised landscape scheme is acceptable by and condition 4 has been reworded to secure the submitted scheme.

It should be clarified with regards paragraph 6.12 that the wider site relating to the existing building and its landscaping is outside the ownership of this applicant. The lack of landscaping to the wider site is not a planning enforcement issue as it is a condition of a planning permission which is not yet implemented (for railings with the main conversion taking place under permitted development). As the land is outside the application site and in private ownership, a 'Grampain' condition could not be used to secure wider landscaping although this applicant has committed to work with

the adjacent landowner to provide and fund it if necessary (although such agreement can only be considered informally).

## **CONDITIONS**

Condition 4 in the Report is to be replaced with the following:

4. All hard and soft landscaping work shall be completed in full accordance with the approved scheme as detailed on drawing number 6295/ASP.1.0 Rev A dated June 2017 and compiled by Aspect landscape planning. The approved scheme shall be implemented prior to occupation or within the first planting season following completion or as otherwise agreed in writing with the Council.

Any trees shrubs or plants planted in accordance the approved scheme which are removed, die or become damaged or diseased within five years of planting shall be replaced within the next planting season by trees, shrubs of the same size, species and in the same location.

Reason: To ensure good landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies Ho9, Pc12 of the Reigate and Banstead Borough Local Plan 2005 and the recommendations within British Standard 5837.

### **ITEM NO: 9**

### **APPLICATION: 17/01916/HHOLD – 39 BLETCHINGLEY ROAD, MERSTHAM, REDHILL**

## **Representations**

The response from the County Highway Authority was received on 27 September 2017:

'The proposed development has been considered by THE COUNTY HIGHWAY AUTHORITY who having assessed the application on safety, capacity and policy grounds, recommends the following conditions be imposed in any permission granted:

## **CONDITIONS**

Additional highway related conditions are therefore proposed as above:

4. The proposed vehicular access to Bletchingley Road shall be constructed in accordance with the approved plans and thereafter shall be kept permanently maintained.

Reason:

To ensure that the development would not prejudice highway safety nor cause inconvenience to other highway users with regard to the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

5. Space shall be laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning areas shall be retained and maintained for their designated purposes.

Reason:

To ensure that the development would not prejudice highway safety nor cause inconvenience to other highway users with regard to the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

**ITEM NO: 10**

**APPLICATION: 17/01920/HHOLD – 115 BLETCHINGLEY ROAD, MERSTHAM, REDHILL**

**Representations**

The response from the County Highway Authority was received on 20 September 2017:

'The proposed development has been considered by THE COUNTY HIGHWAY AUTHORITY who having assessed the application on safety, capacity and policy grounds, recommends the following conditions be imposed in any permission granted:

**CONDITIONS**

Additional highway related conditions are therefore proposed as above:

4. The proposed vehicular access to Bletchingley Road shall be constructed in accordance with the approved plans and thereafter shall be kept permanently maintained.

Reason:

To ensure that the development would not prejudice highway safety nor cause inconvenience to other highway users with regard to the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

5. Space shall be laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning areas shall be retained and maintained for their designated purposes.

Reason:

To ensure that the development would not prejudice highway safety nor cause inconvenience to other highway users with regard to the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

REIGATE ROAD



PROPOSED SITE SECTION THROUGH ACCESS ROAD

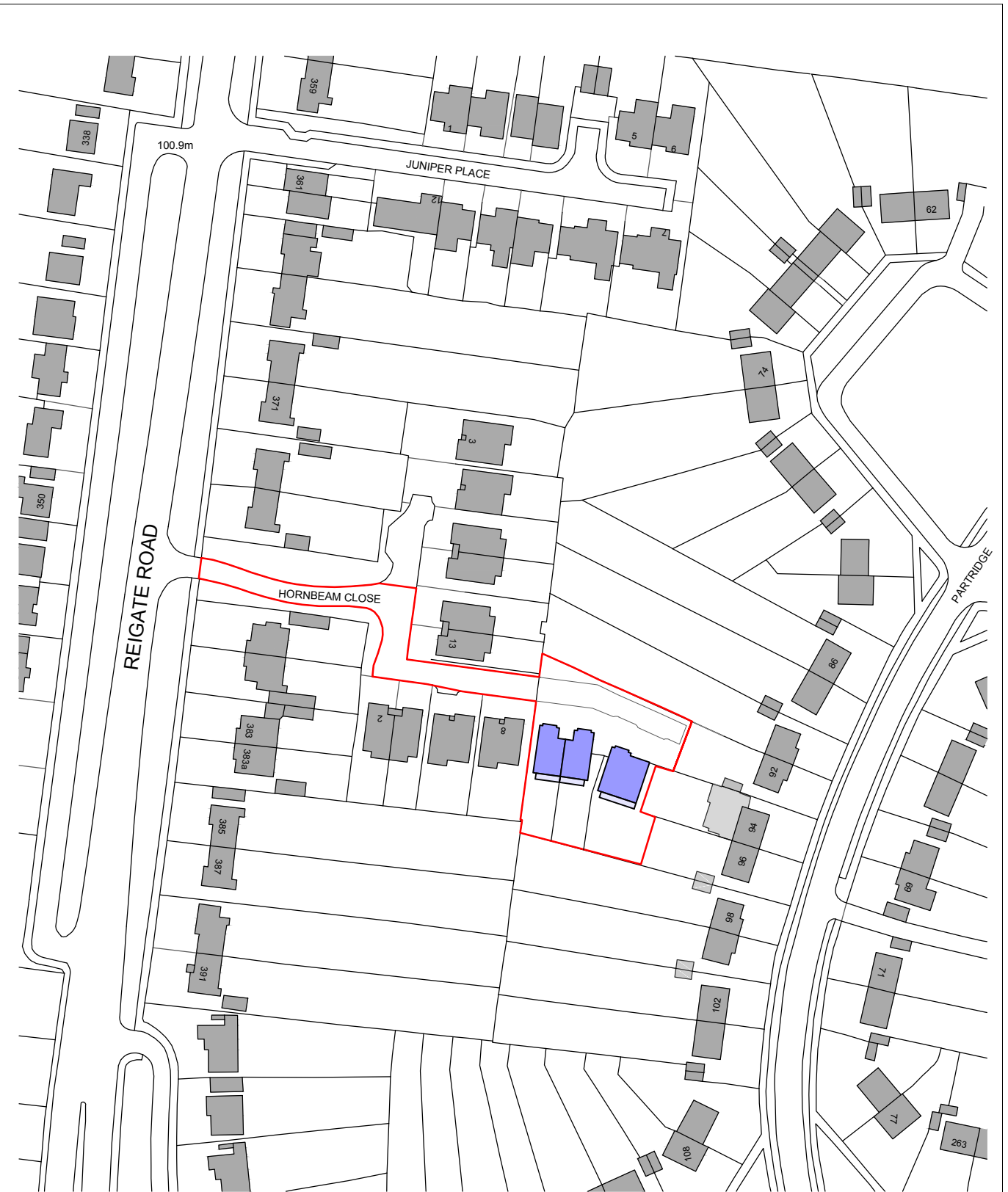


	Project				
	371 - 383A REIGATE ROAD EPSOM DOWNS SURREY KT17 3LU				
Drawing Title					
PROPOSED GA SITE PLAN					
STATUS	Date	Scale @A1	Job No.	Drawing no.	Rev
P	JUNE 14	1:200	DH012	2- 03	E
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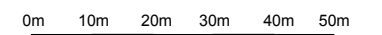




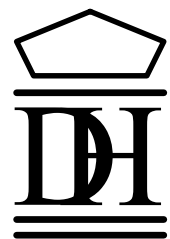
**EXISTING OS PLAN**



**PROPOSED OS PLAN**



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Project **LAND TO REAR OF  
92 - 96 PARTRIDGE MEAD  
EPSOM DOWNS SURREY**

Drawing Title  
**EXISTING AND PROPOSED OS PLAN**

**NOTES**

1. Constructional dimensions should not be scaled from this drawing.
2. This drawing should be read with general arrangement drawings

STATUS	Date	Scale	Drawing number
P	MAR 2017	1:1250	DH045 - 01b

**DENTON HOMES LTD**  
THE REAR BARN, THE MANOR FARM, 124 MANOR ROAD NORTH  
THAMES DITTON, SURREY KT7 0BH




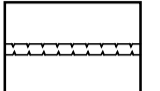

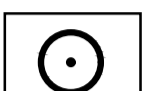
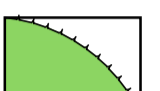
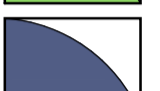
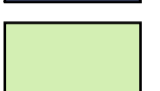
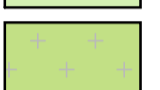

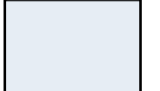



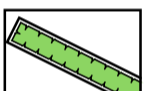






NOTE: Vegetation retention subject to future consultations

Bin store

Cycle parking

- KEY**
-  Existing garden trees retained
  -  Existing site hedgerows retained
  -  Other existing offsite vegetation retained
  -  Existing boundary wall retained and extended
  -  Existing boundary fence retained
  -  Proposed trees
  -  Proposed shrubs/ herbaceous plants including sensory plants
  -  Proposed wetland/ marginal plants
  -  Proposed amenity grass/ lawn
  -  Proposed nature conservation/ meadow grass
  -  Proposed pond
  -  Proposed access driveway \*
  -  Proposed parking bays
  -  Proposed paved terraces and pathways \*
  -  Proposed seating
  -  Proposed raised beds
  -  Proposed new/ refurbished rear garden boundary fencing (up to 1.8m high)
  -  Proposed habitat enhancement features (eg. hibernacula, loggery)

Refer to Quaife Woodland Tree Protection Plan for information on;  
 - Trees to be removed  
 - Areas of no dig construction in relation to trees to be retained.

\*NOTE: No dig construction areas and/ or tree root protection zones to comprise permeable products where practicable as required by arboricultural method statement. These to include permeable asphalt and permeable block paving.

Rev	Drawn	Checked	Approved	Description	Date
P02	CT	SK	SK	Proposed street frontage boundary railing removed.	22.08.2017
P01	CT	SK	SK	Additional soft landscaping to car parking area adjacent to building.	03.08.2017

**NICHOLAS PEARSON ASSOCIATES**  
 ENVIRONMENTAL PLANNERS · LANDSCAPE ARCHITECTS · ECOLOGISTS

Client **Fairlie Holdings Ltd**

Project **Woodstown Nursing Home**

Drawing **Landscape Proposals Plan**

Drawing No. NPA-10917-301	Date 09.03.2017	Scale 1:250 at A1
Rev P02	Drawn CT	Checked SK
	Approved SK	Status PLANNING

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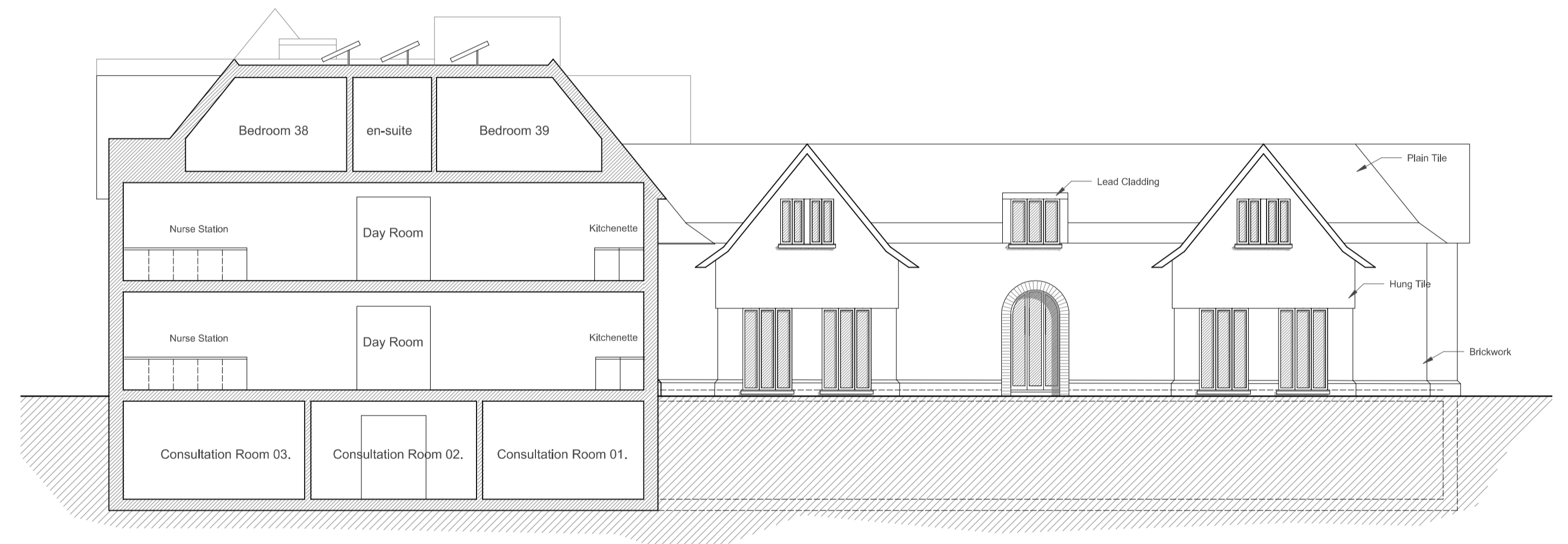
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Dwg Ref: N:\Projects\10917 FH\Work\300 General Arrangement\NPA-10917-301 Landscape Proposals Plan.dwg





Proposed Section A



Proposed Section B







Street Context Elevation - Proposed



Street Context Elevation - Existing



orme

Woodstown House

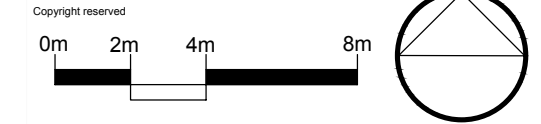
revision #  
A - updated to show revised elevation

revision date  
19.09.17

title  
Street Context Elevations  
date  
24.02.16  
scale  
1:500 @ A3  
drawing#  
739/023 rev A

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Mill Farm Barns, Tuckers Lane, Baltonsborough, Glastonbury, BA6 8RH :: t 01458 445100 :: info@orme-architecture.com



**KEY:**

- Site Boundary
- Proposed Trees
- Proposed Hedge
- Proposed Feature Shrub
- Proposed Shrubs
- Proposed Amenity Grass / Turf

**PLANTING NOTES**  
All plants to be supplied in accordance with the HTA National Plant Specification and from a HTA certified nursery. All plants and trees to be planted in accordance with BS3036 and BS8545. Delivery and handling of all plant material to be in accordance with BS4428:JULI/CPSE Code of Practice for 'Handling and Establishing Landscape Plants' Parts I, II and III and BS8545.

**Planting Pit and Trench Preparation**  
Tree pits in soft landscape to be excavated to 1m x 1m x 1m depth prior to topsoiling and all shrub planting areas excavated to 450mm depth. All proposed hedge planting trenches to be excavated to 600mm depth. Unless otherwise specified, all pits in hard landscape to be 2m x 2m x 1m, bedded with compacted Urban Tree Soil. The preparation of planting pits, bed or trenches shall comply with the appropriate British Standards, namely BS4043, BS4428, BS5837 and BS8545.

Excavation of planting pits, beds or trenches shall not take place when the ground is frozen or waterlogged such that damage may occur to the structure of the soil. All excavated areas to be backfilled with either site won topsoil or imported topsoil to be BS3882-General purpose grade. All topsoiled areas to be clear of rocks and rubble larger than 50mm diameter and any other debris that may interfere with the establishment of plants. The Contractor shall break up and cultivate at the base of the trenches or planting pits. The sides of the trenches or planting pits shall be loosened with a fork or other similar implement. All stones and the like over 75mm in any dimension, detritus matter, weeds and seed roots brought to the surface by any cultivation or excavation shall be removed off site. The Contractor shall remove off site the excavated subsoil/fill material when preparing planting pits. The imported topsoil should make up any deficiencies caused by the removal of the subsoil/fill material. Trenches and pits shall have the topsoil and any subsoil/fill material thoroughly broken up and mixed prior to backfilling.

All trees shall be supplied root balled, unless otherwise stated. Root balled trees shall be well grown, healthy and with a compact, contained rootball. They shall be nursery grown and have been regularly watered. Prior to planting, all plant material shall be stored and sorted at in accordance with best practice.

**Planting**  
All plants shall be planted in a random fashion avoiding formal regimented lines at densities indicated in the schedule, unless otherwise specified. Unless otherwise specified, all hedgerows shall be planted in a double staggered rows and hedgerow mixes shall be planted in groups of 7, 9 & 13 at densities indicated on the schedule. Ornamental shrub planting mixes shall be planted in groups of 5, 7 & 11 and native shrub planting mixes shall be planted in groups of 9, 13 & 15. The selection, procurement, handling, storage and planting operations of all proposed trees shall be in accordance with BS8545:2014 - 'Trees: from nursery to independence in the landscape, recommendations'. Planting and associated operations shall comply with BS4043, BS4428, BS5837 and BS8545. Unless otherwise stated planting shall be carried out during the period of 1 Nov to 31 March when the ground is not frozen or water logged. If planting is required outside the period agreement shall be sought and all bare root plants shall be substituted with container grown stock.

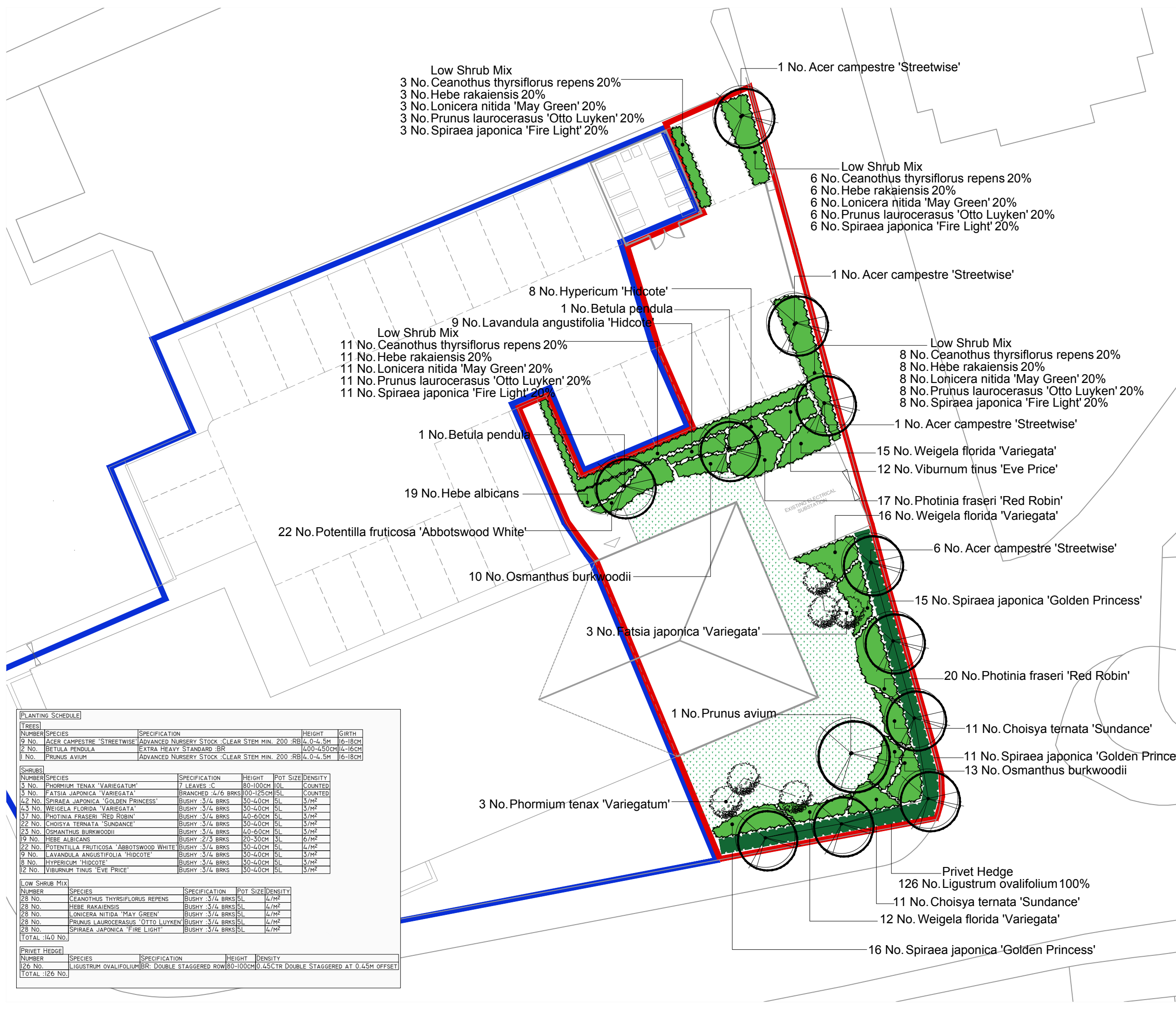
**Watering**  
All plants shall be watered in to field capacity immediately after planting and mulched with 50mm depth of medium grade crushed mulch. The Contractor shall water the trees, shrubs and hedges once planted so that the entire tree pit or planted area is moistened to field capacity, i.e. 'the amount of water retained by previously saturated soil once full drainage has ceased'. Watering to field capacity shall continue frequently and on a regular basis as considered necessary by the landscape contractor and as necessary to ensure the successful establishment and continued thriving of all planting. Additional watering shall be undertaken during summer months and/or periods of drought. Post planting management and maintenance specifically for new tree planting shall include ongoing irrigation and formative pruning in accordance with BS8545. The period over which regular irrigation required for transplanted trees is likely to be at least two full growing seasons to ensure successful establishment. As the root system develops the frequency of irrigation can be reduced.

**Staking**  
All trees within soft landscape areas to be double staked with cross bar and tied, using 1.5m long, 75mm diameter rounded tree stakes 75mm brace, rubber tie and spacer block. Stakes not to extend more than 600mm above ground level. All trees within hardstanding/highways visibility splays to be clear stem to 1.5m high unless otherwise specified. Trees within hardstanding / specific pits to be underground guyed unless otherwise specified.

**Root Barriers**  
Root barriers (R/Root 1000 or equivalent) to be included adjacent to buildings and services where necessary. Landscape contractor shall check all planting operations comply with appropriate standards and that in the absence of detailed surveys, any necessary underground investigations are undertaken to ensure there are no conflicts with existing or proposed utilities, services or foundations.

**PROTECTION OF EXISTING VEGETATION TO BE RETAINED**  
Existing trees to be retained shall be protected in accordance with BS5837, from commencement to completion of all works on site.

**N.B.** All planting proposals including tree planting have been developed in order to create a high quality environment and gain planning consent for the development. All tree species have been reviewed in line with NHBC guidance (2017) and in the absence of any building foundation depths or detailed soil analysis information for the site. Where possible only low and moderate water demand species are proposed in close proximity to new buildings. A number of varied cultivars of these species as well as ornamental species that have a smaller overall mature height (which are not currently assessed within NHBC guidance 2017) are proposed to provide variety in the scheme and engineer's should consider these locations & species. Where necessary new building foundation depths shall be designed to accommodate the approved tree species, site specific soil shrinkage and tree water demand in line with NHBC standards 2017 (Chapter 4.2 - Building Near Trees). Planting plans have been prepared for planning purposes and in the absence of fully detailed ground investigations, geological or hydrological surveys and planting design or species choice may be subject to change - suitability should be confirmed on site by the landscape contractor. Detailed site specific soil analysis and suitable site drainage should be checked by landscape contractor to ensure planting can be implemented in accordance with approved drawings prior to implementation.



PLANTING SCHEDULE					
TREES					
NUMBER	SPECIES	SPECIFICATION	HEIGHT	POT SIZE	DENSITY
9	ACER CAMPESTRE 'STREETWISE'	ADVANCED NURSERY STOCK :CLEAR STEM MIN. 200 :RB	4.0-4.5M	16-18CM	
2	BETULA PENDULA	EXTRA HEAVY STANDARD :BR	4.00-4.50CM	14-16CM	
1	PRUNUS AVIUM	ADVANCED NURSERY STOCK :CLEAR STEM MIN. 200 :RB	4.0-4.5M	16-18CM	
SHRUBS					
NUMBER	SPECIES	SPECIFICATION	HEIGHT	POT SIZE	DENSITY
3	PHORMIUM TENAX 'VARIEGATUM'	7 LEAVES :C	80-100CM	10L	COUNTED
3	FATSIA JAPONICA 'VARIEGATA'	BRANCHED :4/6 BRKS	100-125CM	5L	COUNTED
4	SPIRAEA JAPONICA 'GOLDEN PRINCESS'	BUSHY :3/4 BRKS	30-40CM	5L	3/m <sup>2</sup>
4	WEIGELA FLORIDA 'VARIEGATA'	BUSHY :3/4 BRKS	30-40CM	5L	3/m <sup>2</sup>
3	PHOTINIA FRASERI 'RED ROBIN'	BUSHY :3/4 BRKS	40-60CM	5L	3/m <sup>2</sup>
2	CHOISYA TERNATA 'SUNDANCE'	BUSHY :3/4 BRKS	30-40CM	5L	3/m <sup>2</sup>
2	OSMANTHUS BURKWOODII	BUSHY :3/4 BRKS	40-60CM	5L	3/m <sup>2</sup>
1	HEBE ALBICANS	BUSHY :2/3 BRKS	20-30CM	3L	6/m <sup>2</sup>
2	POTENTILLA FRUTICOSA 'ABBOTSWOOD WHITE'	BUSHY :3/4 BRKS	30-40CM	5L	4/m <sup>2</sup>
9	LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	BUSHY :3/4 BRKS	30-40CM	5L	3/m <sup>2</sup>
8	HYPERICUM 'HIDCOTE'	BUSHY :3/4 BRKS	30-40CM	5L	3/m <sup>2</sup>
1	VIBURNUM TINUS 'EVE PRICE'	BUSHY :3/4 BRKS	30-40CM	5L	3/m <sup>2</sup>
LOW SHRUB MIX					
NUMBER	SPECIES	SPECIFICATION	POT SIZE	DENSITY	
28	CEANOTHUS THYRSIFLORUS REPENS	BUSHY :3/4 BRKS	5L	4/m <sup>2</sup>	
28	HEBE RAKAIENSIS	BUSHY :3/4 BRKS	5L	4/m <sup>2</sup>	
28	LONICERA NITIDA 'MAY GREEN'	BUSHY :3/4 BRKS	5L	4/m <sup>2</sup>	
28	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	BUSHY :3/4 BRKS	5L	4/m <sup>2</sup>	
28	SPIRAEA JAPONICA 'FIRE LIGHT'	BUSHY :3/4 BRKS	5L	4/m <sup>2</sup>	
TOTAL :160 NO.					
PRIVET HEDGE					
NUMBER	SPECIES	SPECIFICATION	HEIGHT	DENSITY	
126	LIGUSTRUM OVALIFOLIUM	BR: DOUBLE STAGGERED ROW	80-100CM	0.45CTR DOUBLE STAGGERED AT 0.45M OFFSET	
TOTAL :126 NO.					

A	29.9.2017	Hombeam hedge substituted for Privet hedge	BS	CJ
REV	DATE	NOTE	Drawn	Chk'd
REVISIONS				



TITLE			
Park View, Reigate			
Planting Plan			
CLIENT			
Montreaux Limited			
SCALE	DATE	DRAWN	CHK'D
1:200 @ A3	JUNE 2017	BS	AM
DRAWING NUMBER		REVISION	
6295/ ASP. 1.0		A	